



**April 1, 2024**

**ADDENDUM NO. 2**

**WESTLAKE SKATE PARK: SITE IMPROVEMENTS**

**RFP NO. 2024-085**

Bidders are directed to revise and incorporate into their bid the following change(s) in bid specifications:

**Revision/Clarification:**

1. The bid closing date has been extended from Thursday, April 4, 2024, at 2:00 p.m. until **Tuesday, April 9, 2024, at 2:00 p.m.**
2. Technical Specifications: Replace Title Sheet with attached
3. Construction Drawings: The following sheet have been revised and should be replace
  - L0.00 – Updated the project location map on the title sheet
  - L0.02- Project area has been indicated
  - L2.00 – Minor adjustments were made to the dimension control based on the skate park limit adjustment
  - L2.00 – PVC drainpipes were added
  - L2.03 – Added a PVC drain detail under the proposed ramp
  - L3.00 – Updated the grading plan per comments provided
  - L5.00 – Adjusted landscaping around building and the sod on the East side of the skatepark where the park footprint was adjusted
  - L5.01 – Updated the planting quantities per sod adjustment

If you should have any other questions, do not hesitate to contact the Purchasing Office at 972-216-6201.

*Ryan Williams*

Ryan Williams  
Manager of Purchasing

ACCEPTANCE:

We, the undersigned, do hereby acknowledge receipt of this Addendum No. 2 to RFP No. 2024-085: Westlake Skate Park: Site Improvements Project and agree to the instructions herein written.

\_\_\_\_\_  
Company Name

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Date

**PROJECT MANUAL  
FOR  
THE CONSTRUCTION OF**

**Westlake Skate Park:  
Site Improvements  
AVO 53890  
RFP NO. 2024-085**

**March 2024**

**Half Associates, Inc.**  
1201 North Bowser Road  
Richardson, TX 75081-2275

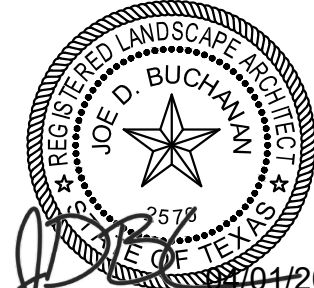


# WESTLAKE SKATEPARK: SITE IMPROVEMENTS PROJECT 2024-085 ISSUED FOR BID MARCH 7, 2024

600 GROSS ROAD  
MESQUITE, TX 75149

**LANDSCAPE ARCHITECT**

DAVID BUCHANAN  
1201 NORTH BOWSER ROAD  
RICHARDSON, TEXAS 75081-2275  
EMAIL: dbuchanan@half.com  
TEL: (214) 346-6268



APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY JOE O. BUCHANAN, PLAIN AND SIMPLE. THE SEAL OF A LANDSCAPE ARCHITECT IS AN OFFENSE UNDER TITLE 22, TEXAS ADMINISTRATIVE CODE, CHAPTER 20, AND EFFECTS, IN A RECORD COPY OF THIS DRAWING IS ON FILE AT THE OFFICE OF HALFF ASSOCIATES, INC., 1201 NORTH BOWSER, RICHARDSON, TEXAS 75081. TBAE FIRM #BR1085



LOCATION MAP

NOT TO SCALE

OWNER/CLIENT:



1515 N. GALLOWAY AVE.  
MESQUITE, TX 75149  
TEL. (972) 216-6413  
www.cityofmesquite.com

PREPARED BY:



1201 NORTH BOWSER ROAD  
RICHARDSON, TEXAS 75081-2275  
TEL. (214) 346-6200 FAX (214) 739-0095  
www.halff.com

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TBAE FIRM #BR1085

APPROVED BY:

\_\_\_\_\_  
NAME DATE  
  
\_\_\_\_\_  
NAME DATE

Sheet List Table	
Sheet Number	Sheet Title
L0.00	COVER SHEET
L0.01	GENERAL NOTES
L0.02	EXISTING CONDITIONS
L1.00	DEMOLITION PLAN
L2.00	SITE PLAN AND GEOMETRIC LAYOUT
L2.01	SITE DETAILS
L2.02	SITE DETAILS
L2.03	SITE DETAILS AND ENLARGEMENT
L2.04	LIGHT LAYOUT AND DETAILS
L3.00	EROSION CONTROL AND GRADING PLAN
S4.00	TYPICAL LIGHT POLE BASE
L5.00	LANDSCAPE PLAN
L5.01	LANDSCAPE DETAILS
L6.00	IRRIGATION PLAN
L6.01	IRRIGATION NOTES
L6.02	IRRIGATION DETAILS



Know what's below.  
Call before you dig.

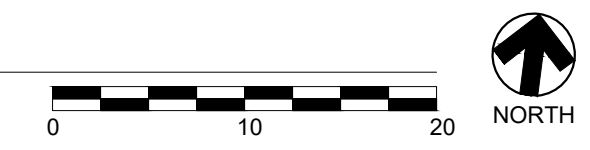
THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING SIZE, TYPE AND LOCATION OF UNDERGROUND, SURFACE, AND AERIAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT THE GEORGETOWN AREA "ONE CALL" SYSTEM AT 1-800-344-8377 (DIG TESS) 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION FOR EXISTING UTILITY LOCATIONS. THE CONTRACTOR SHALL ALSO BE FULLY RESPONSIBLE FOR FIELD VERIFYING LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES AFFECTED BY CONSTRUCTION FOR THIS PROJECT IN ORDER TO AVOID DAMAGING THOSE UTILITIES, AND SHALL IMMEDIATELY ARRANGE FOR REPAIR AND RESTORATION OF CONTRACTOR-DAMAGED UTILITIES TO THE UTILITY COMPANY'S APPROVAL AT THE EXPENSE OF THE CONTRACTOR.

FILE NAME: A:\65000\65890\01\LA\CADD\Sheets\L0.00-COVER.dwg DATE: March 29, 2024, TIME: 5:31 PM, USER: ah4341, AVO: 53890.001



**1** EXISTING SITE CONDITIONS

SCALE: 1" = 10'-0"

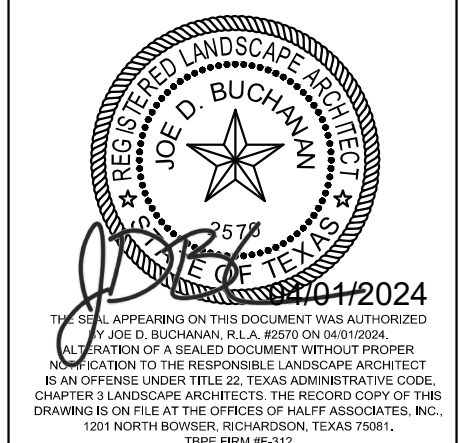


NOTE:  
AT THE AREA OF EXCAVATION, EXISTING CONDITIONS MAY VARY.

WESTLAKE  
SKATE PARK  
MESQUITE, TEXAS



REVISION NO.	DATE	DESCRIPTION
1	2024/03/29	ADDENDUM 2

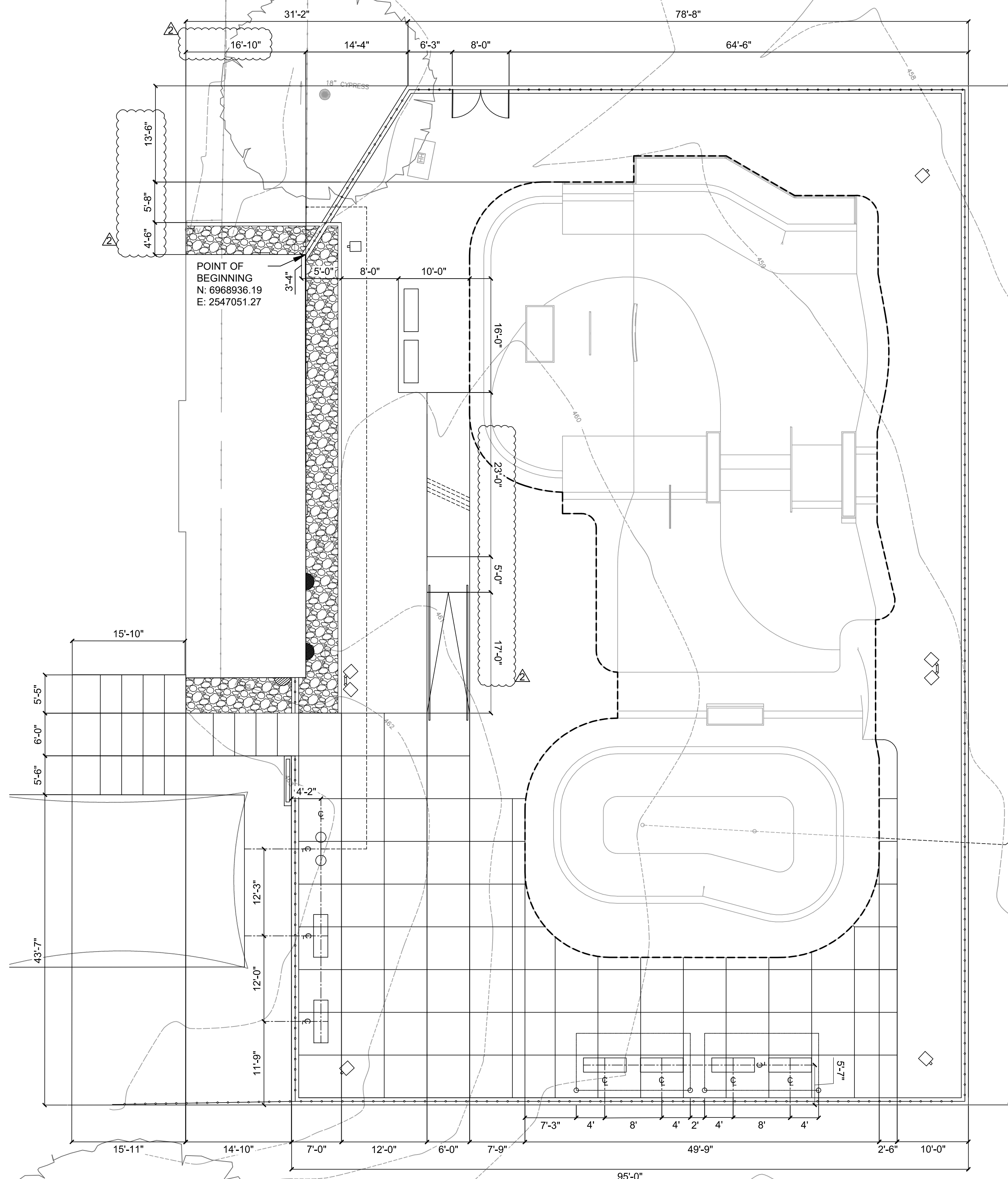


PROJECT NO.: 53890.001  
ISSUED: MARCH, 12 2024  
DRAWN BY: MLS  
CHECKED BY: JDB  
SCALE: AS NOTED

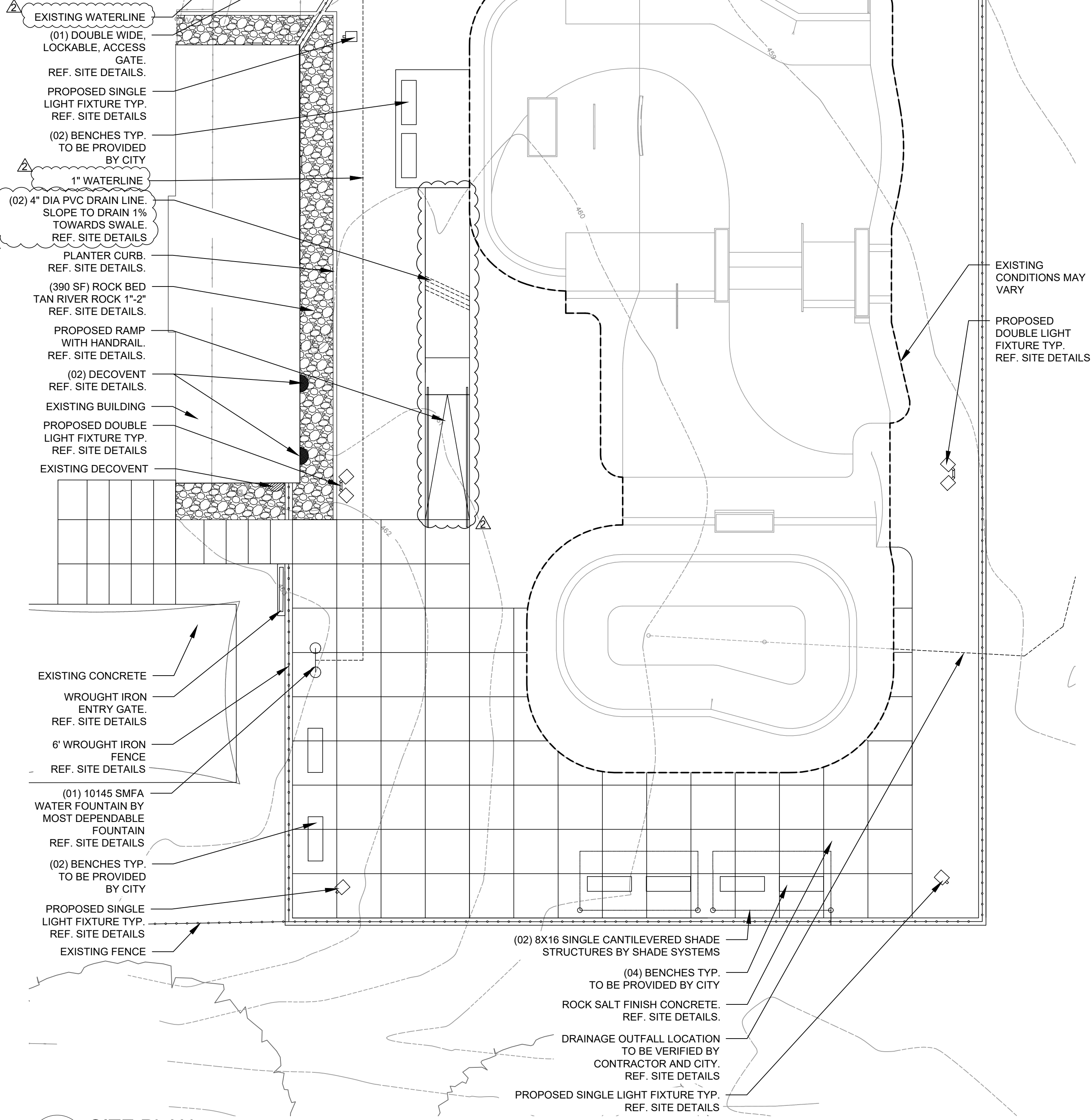
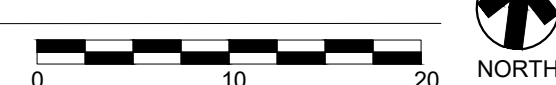
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**EXISTING SITE CONDITIONS**

L0.02

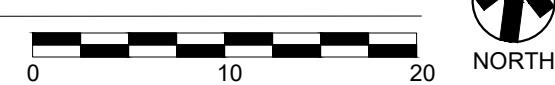
NOTE:  
ALL DIMENSIONS ARE TAKEN FROM THE POINT OF BEGINNING.



**1** GEOMETRIC LAYOUT  
SCALE: 1" = 10'-0"



**2** SITE PLAN  
SCALE: 1" = 10'-0"



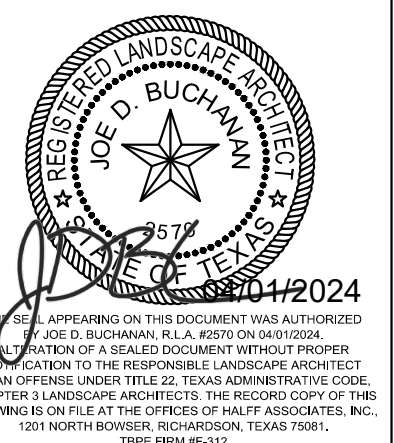
PROPOSED SINGLE LIGHT FIXTURE TYP. REF. SITE DETAILS.  
PROPOSED 6' CHAINLINK FENCE WITH ALT 1 MOWSTRIP. REF. SITE DETAILS.  
SKATEPARK BY OTHERS

EXISTING CONDITIONS MAY VARY  
PROPOSED DOUBLE LIGHT FIXTURE TYP. REF. SITE DETAILS

WESTLAKE  
SKATE PARK  
MESQUITE, TEXAS



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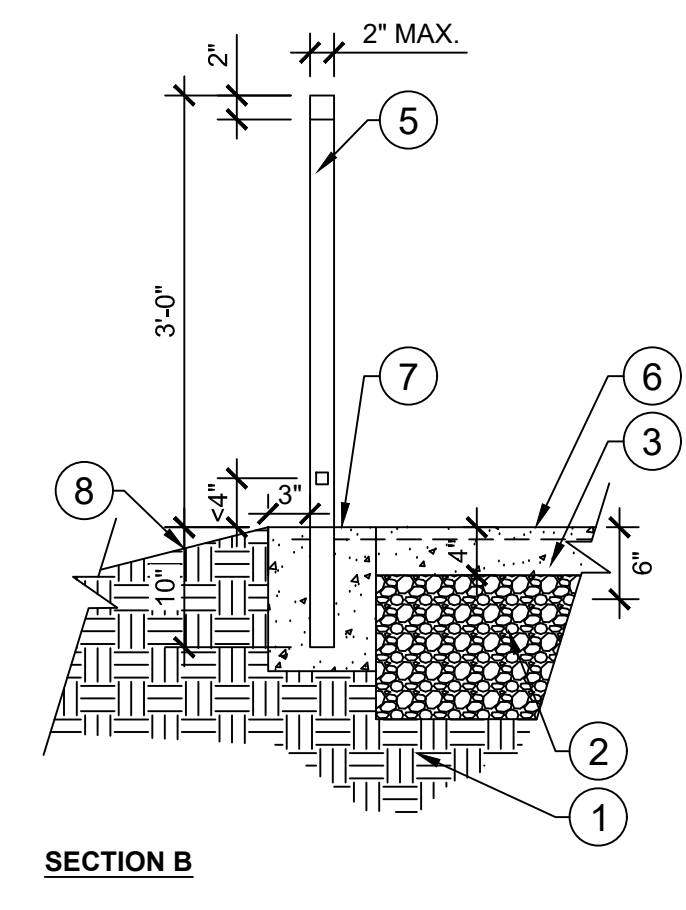
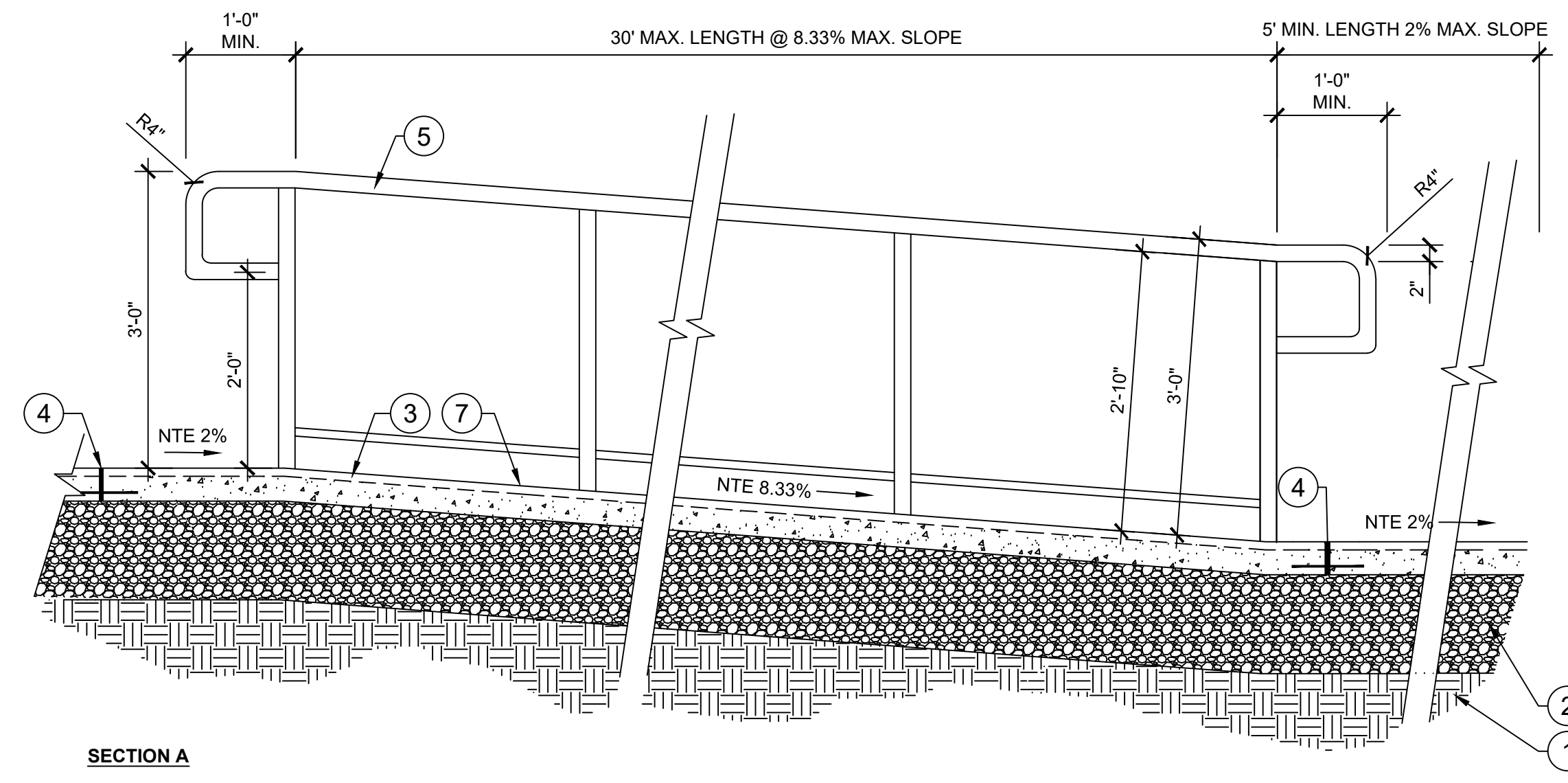
PROJECT NO.:	53890.001
ISSUED:	MARCH, 12 2024
DRAWN BY:	MLS
CHECKED BY:	JDB
SCALE:	AS NOTED

SHEET TITLE  
SITE PLAN AND GEOMETRIC LAYOUT

L2.00

FILE NAME: \\halff\ap\ZNA\VO\53890\001\LACADD\Sheets\L2.00 - SITE PLAN.dwg DATE: March 29, 2024, TIME: 5:32 PM, USER: ah4341 A.V.O. 53890.001

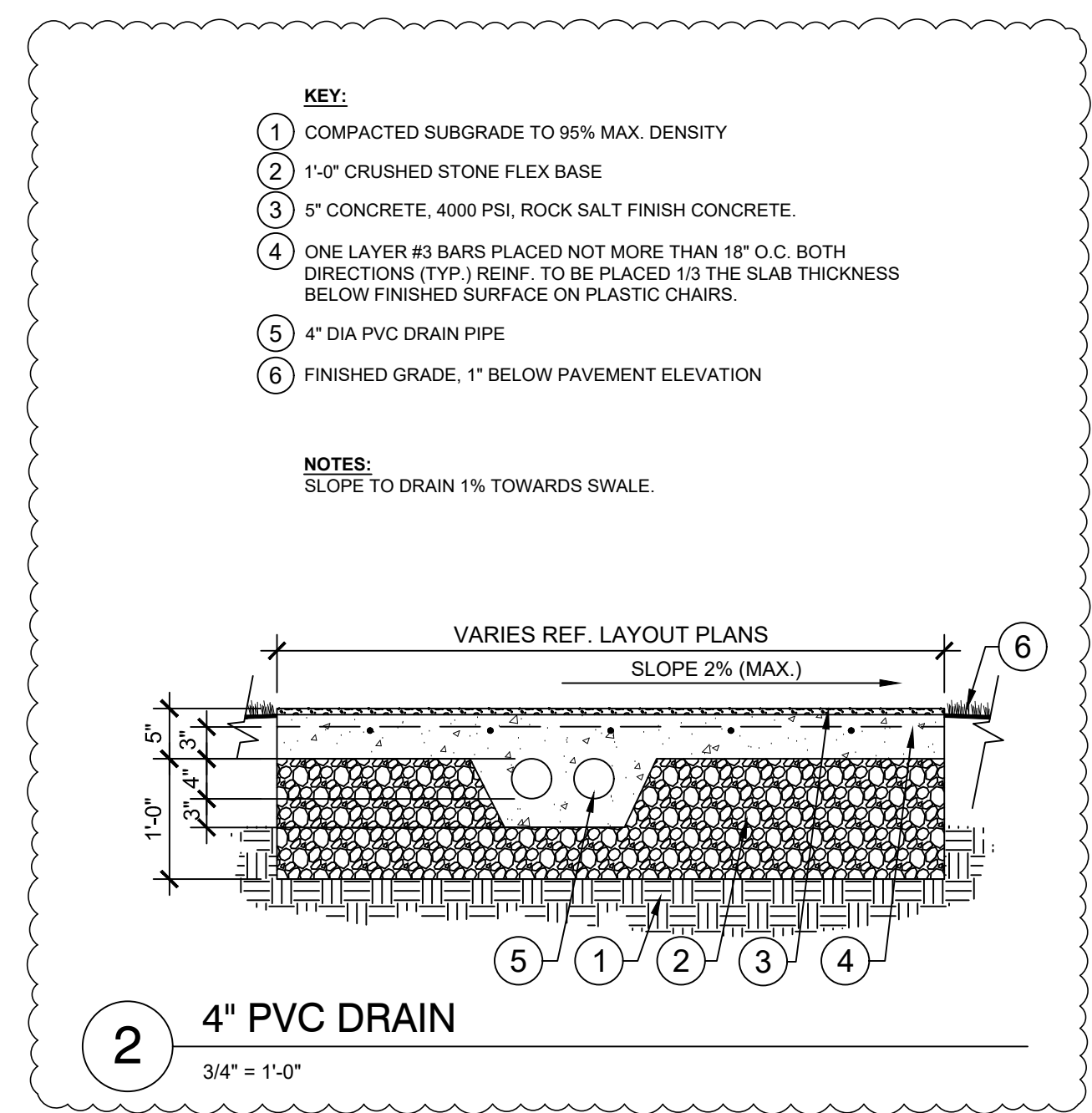
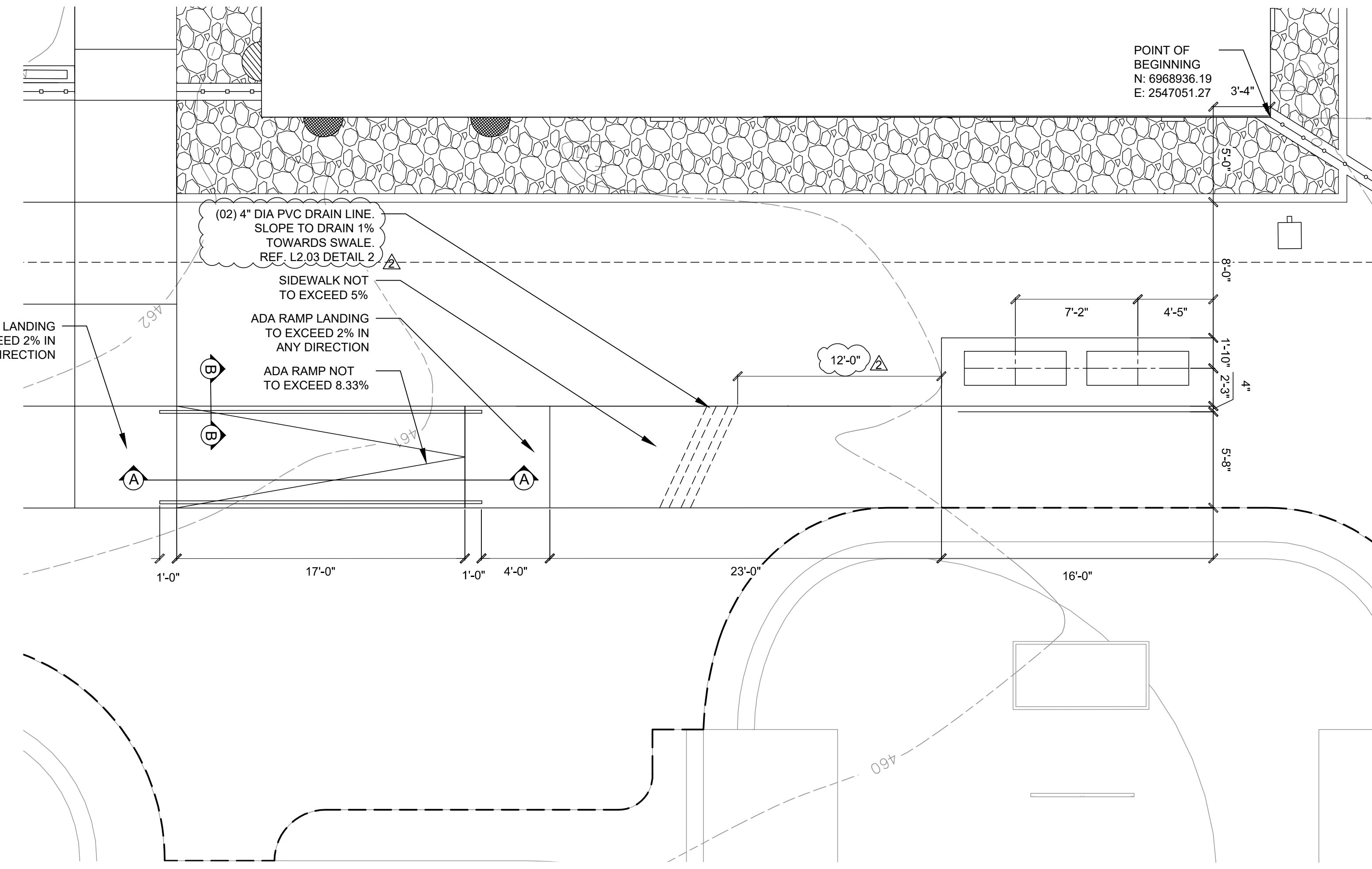
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- KEY:**
- 1 COMPACTED SUBGRADE TO 95% MAX. DENSITY.
  - 2 1'-0" CRUSHED STONE FLEX BASE
  - 3 5" CONCRETE, 4000 PSI, ROCK SALT FINISH PERPENDICULAR TO DIRECTION OF TRAVEL. REINF. W/ #3 BARS AT 18" O.C. W/ TO BE PLACED 3/4"-1" MAX. BELOW FINISHED SURFACE ON PLASTIC CHAIRS.
  - 4 EXPANSION JOINT. REFER TO SIDEWALK DETAIL
  - 5 HANDRAIL - 2" O.D. MAX STAINLESS STEEL ROUND POSTS FABRICATED PER DIMENSIONS SHOWN. POSTS REQUIRED AT END OF HANDRAIL AS SHOWN AND AT 5 FT. O.C. MAX. FOR ENTIRE RAMP LENGTH RUN. HANDRAIL TO BE CONTINUOUS FOR STAIRS. PROVIDE 1" O.D. ROUND RAILS AT 10" O.C. ENTIRE LENGTH OF RAIL BETWEEN TOP AND BOTTOM RAIL. BOTTOM RAIL 4" ABOVE FINISHED GRADE. MAX. POSTS TO BE FLANGE MOUNTED. GALVANIZED FINISH. SUBMIT SHOP DRAWINGS FOR APPROVAL BY LANDSCAPE ARCHITECT.
  - 6 ADJACENT 4" CONCRETE WALKWAY. REF. DETAIL
  - 7 MOUNTED HANDRAIL, 10" DEEP TURNDOWN ON EDGE OF RAMP. CORE DRILL POSTS AND EPOXY SET. CONTRACTOR TO SELECT PRODUCT FOR APPROVAL BY LANDSCAPE ARCHITECT
  - 8 FINISH GRADE

**1 HANDRAIL AT RAMP**  
3/4" = 1'-0"

P-TR-WSP-32



**2 4" PVC DRAIN**  
3/4" = 1'-0"

**3 SITE PLAN ENLARGEMENT**  
SCALE: 1" = 5'-0"

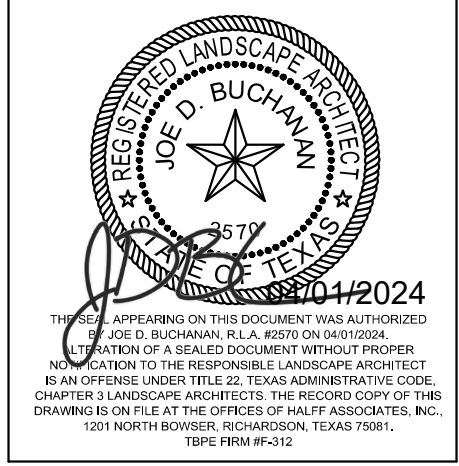


WESTLAKE  
SKATE PARK  
MESQUITE, TEXAS

MESQUITE  
T E X A S

halff  
1201 NORTH BOWSER RD.  
DALLAS, TEXAS 75081-1275  
TEL: (214) 346-6200

REVISION NO.	DATE	DESCRIPTION
2	2024/03/29	ADDENDUM 2



PROJECT NO.: 53890.001  
ISSUED: MARCH, 12 2024  
DRAWN BY: MLS  
CHECKED BY: JDB  
SCALE: AS NOTED  
SHEET TITLE  
SITE DETAILS AND ENLARGEMENT

L2.03

FILE NAME: \\halff\ap\pzn\A\VO\53890\05\53890\01\LACADD\Sheets\L1.00-EROSION CONTROL.dwg DATE: March 29, 2024, TIME: 5:33 PM, USER: ah4341 AVO: 53890.001

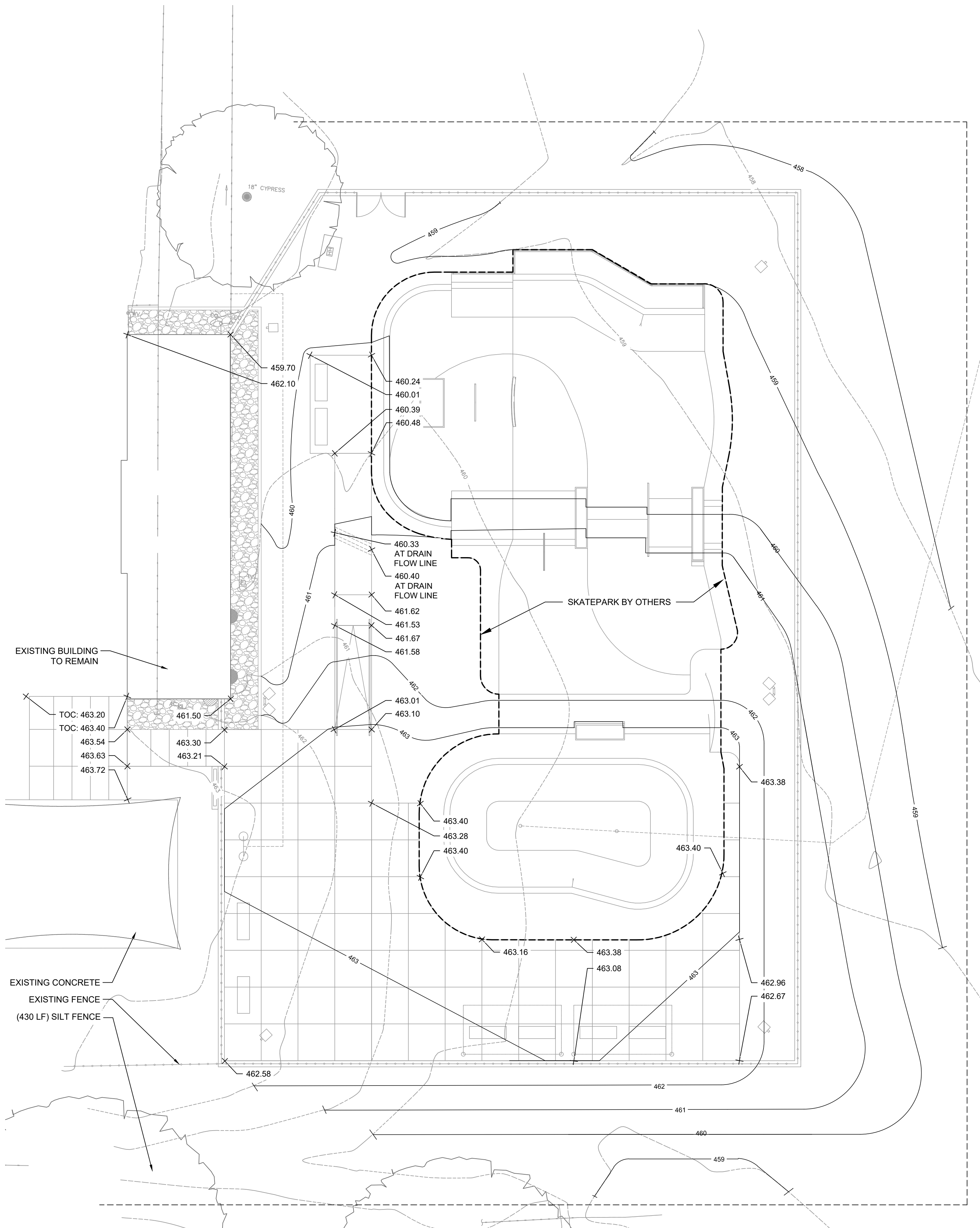
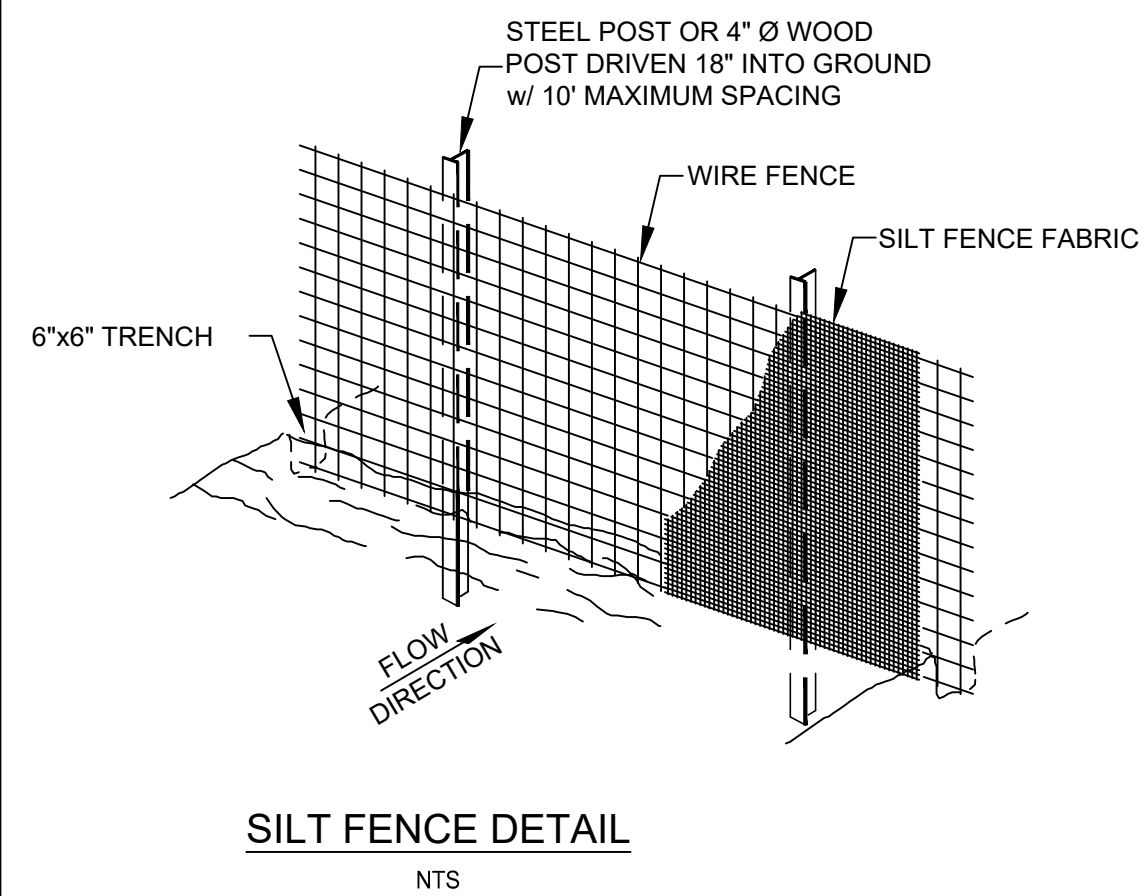
**CAUTION ~ UNDERGROUND AND OVERHEAD UTILITIES!**  
Underground utilities in area. Contact Texas One Call System (811) two working days prior to construction.  
Tele: 1-800-245-4545

- EROSION CONTROL LEGEND**
- SILT FENCE
  - PROPOSED CONTOURS

- NOTES:**
- GRADING NOTES:**
- LANDINGS FOR RAMP SHALL BE 5' MINIMUM.
  - RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30° RISE.
  - RAMPS AND LANDINGS SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).
  - SIDEWALKS MUST BE AT LEAST 36" WIDE. SIDEWALK CROSS SLOPE SHALL NOT EXCEED 1:48 (2%).
  - LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

- STEPS FOR CONSTRUCTION:**
- DRIVE POST 18" INTO GROUND AND EXCAVATE A 6"x6" TRENCH UPHILL ALONG THE LINE OF POST.
  - ATTACH WIRE FENCE TO THE POST AND EXTEND BOTTOM OF FENCE 6" INTO THE EXCAVATED TRENCH.
  - ATTACH THE SILT FABRIC TO THE WIRE FENCE AND EXTEND THE BOTTOM OF THE FABRIC 6" INTO THE TRENCH.
  - BACKFILL THE TRENCH WITH SOIL & COMPACT OR PLACE WASHED STONE TO THE HEIGHT OF 6" ABOVE GROUND LEVEL. BOTTOM OF FENCE MUST BE ANCHORED SO THAT RUNOFF IS FORCED THROUGH THE FENCE AND CAN NOT GO UNDER IT.

- INSPECTION & MAINTENANCE:**
- INSPECTION OF FENCES SHALL BE FREQUENT AND REPAIR OR REPLACEMENT MADE PROMPTLY AS NEEDED.
  - ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF 6" AND DISPOSED OF PER OWNER/ENGINEER.



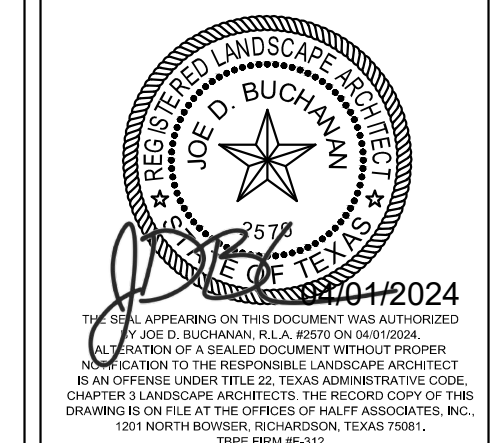
**2 EROSION CONTROL AND GRADING PLAN**  
SCALE: 1" = 10'-0"

**1 SILT FENCE DETAIL**  
N.T.S.

WESTLAKE  
SKATE PARK  
MESQUITE, TEXAS



REVISION NO.	DATE	DESCRIPTION
1	2024/03/29	ADDENDUM 2

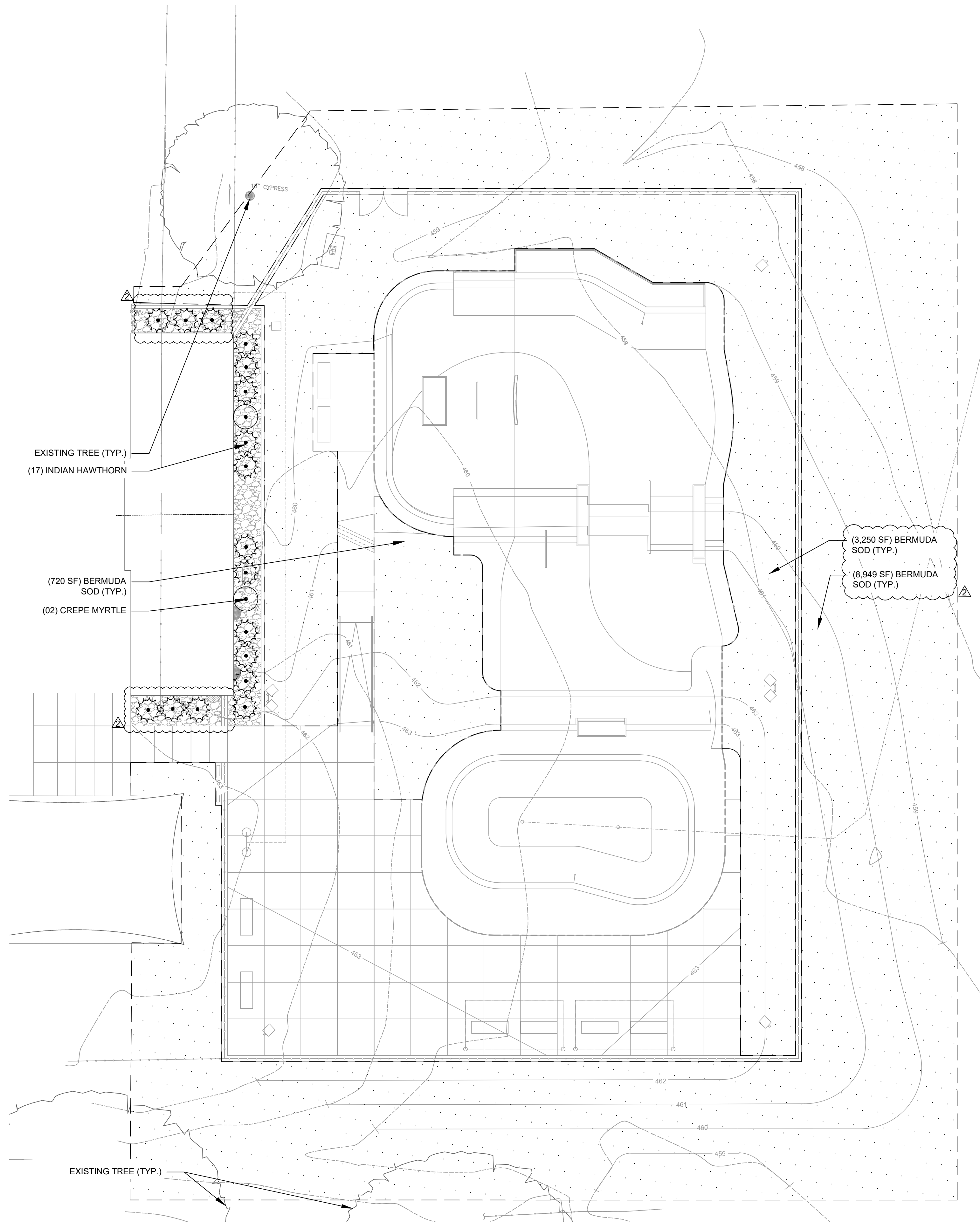


PROJECT NO.: 53890.001  
ISSUED: MARCH, 12 2024  
DRAWN BY: MLS  
CHECKED BY: JDB  
SCALE: AS NOTED  
SHEET TITLE  
**EROSION CONTROL AND GRADING PLAN**  
L3.00



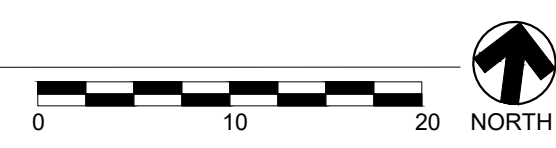


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NOTE:  
THAT CONTRACTOR IS RESPONSIBLE FOR SOD ESTABLISHMENT OUTSIDE THE FENCELINE UNTIL FINAL ACCEPTANCE ONLY. NO WARRANTY FOR SOD WITHOUT PERMANENT IRRIGATION.

**1** LANDSCAPE PLAN  
SCALE: 1" = 10'-0"

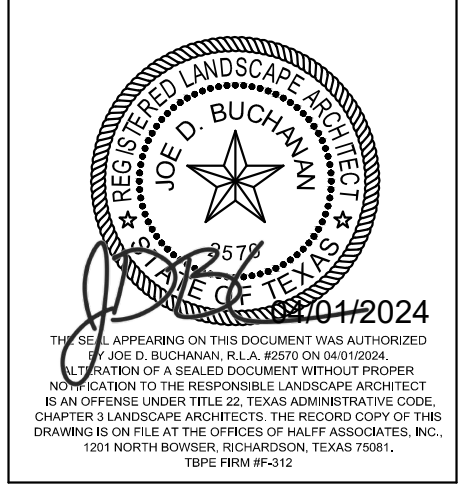


WESTLAKE  
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**halff**  
1201 NORTH BOWSER RD.  
RICHARDSON, TEXAS 75081-1275  
TEL: (214) 346-6200

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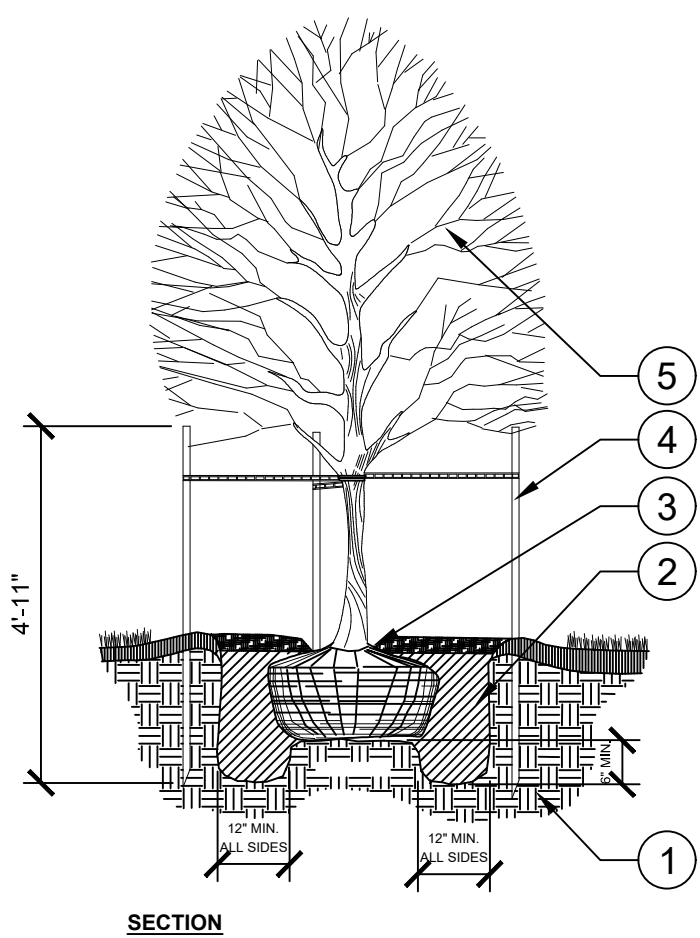


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ISSUED: MARCH, 12 2024  
DRAWN BY: MLS  
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SCALE: AS NOTED  
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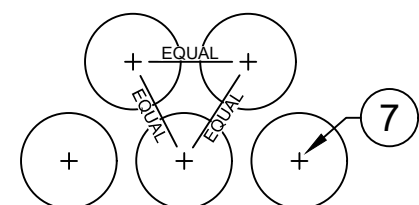
LANDSCAPE PLAN  
L5.00

**LANDSCAPE NOTES / SPECIFICATIONS:**

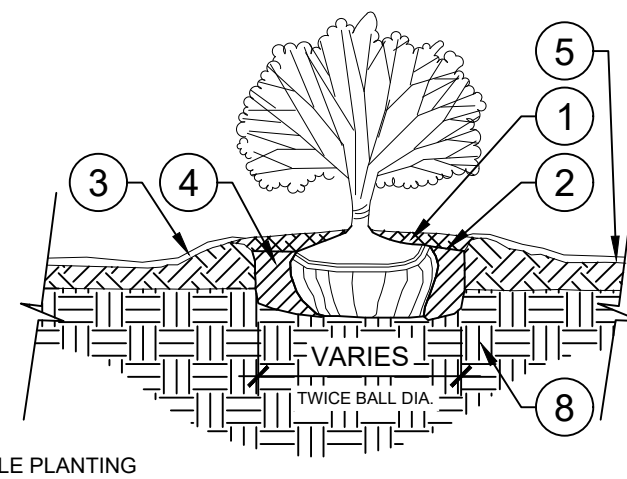
- EXISTING CONDITIONS: THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE SITE PRIOR TO SUBMITTING BID PROPOSAL, TO BECOME FAMILIAR WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK. THE LANDSCAPE CONTRACTOR SHALL IDENTIFY AND REVIEW ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO COMMENCING WORK AND SHALL EXERCISE EXTREME CAUTION WHEN WORKING CLOSE TO UTILITIES, AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF APPARENT CONFLICTS WITH CONSTRUCTION AND UTILITIES SO THAT ADJUSTMENTS CAN BE PLANNED PRIOR TO INSTALLATION. CONTACT THE LOCAL UNDERGROUND UTILITY SERVICES FOR UTILITY LOCATION AND IDENTIFICATION. THE LANDSCAPE CONTRACTOR BEARS FULL RESPONSIBILITY FOR THIS WORK AND DISRUPTION OR DAMAGE TO UTILITIES SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER.
- ALL SITE FEATURES INCLUDING LIGHTS AND OTHER UTILITIES, ABOVE AND BELOW GRADE, TO BE VERIFIED ON SITE PRIOR TO PLANTING AND IRRIGATION INSTALLATION. NOTIFY OWNER'S REPRESENTATIVE TO MAKE ADJUSTMENTS PRIOR TO INSTALLATION.
- LAYOUT AND GRADING: THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATELY LAYING OUT THE PLANT BEDS BY SCALING THE DRAWINGS. LAYOUT SHALL BE PAINTED OR STAKED ON THE GROUND FOR REVIEW AND APPROVAL OF OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. FOLLOWING APPROVAL OF LAYOUT, CLOSELY COORDINATE THE INSTALLATION OF THE IRRIGATION SYSTEM TO CONFORM TO THE APPROVED LAYOUT.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING OF THE TURF AND PLANTING AREAS. THE LANDSCAPE CONTRACTOR AND OWNER SHALL REVIEW THE EXTENT OF GRADING OF AREA PRIOR TO COMMENCING WORK. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
- TURF AREAS SHALL BE RAKED SMOOTH, REMOVING AND DISPOSING OF STONES OVER 1" DIAMETER AND STICKS, ROOTS, AND OTHER EXTRANEIOUS MATTER AND LEGALLY DISPOSING OF THEM OFF OWNER'S PROPERTY. ALL AREAS SHALL BE FINE GRADED TO ACHIEVE POSITIVE DRAINAGE WITHOUT PUDDLES OR STANDING WATER AND FEATHER INTO NATURAL GRADE. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. LIMIT FINISH GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR EROSION CONTROL OF SLOPED AREAS. CONTRACTOR TO RESTORE TURF OR PLANTING AREAS IF ERODED OR OTHERWISE DISTURBED AFTER FINISH GRADING.
- PLANT BEDS: THE LANDSCAPE CONTRACTOR SHALL EXCAVATE FULLY PREPARED PLANT BEDS AS REQUIRED TO ACCOMMODATE A FULL 6" OF PREPARED SOIL AND 2" MULCH LAYER. CLEAN, NATIVE TOPSOIL REMOVED FROM THESE BEDS MAY BE SPREAD ON NEARBY AREAS TO BE SODDED OR SEEDED.
- PREPARED SOIL MIX SHALL CONSIST OF 4" IMPORTED TOPSOIL AND 2" COMPOST, THOROUGHLY BLENDED TOGETHER. FOLLOWING EXCAVATION, PLACE PREPARED SOIL MIX IN THESE PLANT BEDS. CREATE POSITIVE DRAINAGE IN LANDSCAPE AREAS AWAY FROM ALL BUILDINGS AND STRUCTURES. THIS MIX SHALL ALSO BE USED TO BACKFILL PLANTING PITS OF ALL PIT-PLANTED TREES. SUBMIT SAMPLE FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.
- FINISH GRADES OF SHRUB AREAS AND LAWNS SHALL BE 1" BELOW ADJACENT PAVING OR HEADER.
- LANDSCAPE AREA SHALL BE WEED FREE PRIOR TO PREPARING PLANTING AREAS.
- PLANT BED EDGING: FOLLOWING APPROVAL OF PLANT BED LAYOUT, INSTALL CONCRETE MOW STRIP WHERE INDICATED ON THE DRAWINGS. MAINTAIN AN ACCURATE LAYOUT WITH SMOOTH CURVES AND TRANSITIONS, FREE OF KINKS AND ABRUPT BENDS. TOP OF EDGING TO BE 1" ABOVE SOIL LEVEL OF ADJACENT TURF. DO NOT INSTALL WHERE THE TOP OF EDGING IS ABOVE WALKS OR CURBS OR CREATES A TRIPPING HAZARD. NOTE IN BID PROPOSAL, FURNISH UNIT PRICE PER LINEAR FOOT.
- MULCH: FOLLOWING PLANTING, MULCH "FULLY-PREPARED" BEDS AND MULCHED TREE RINGS WITH 2" LAYER OF SHREDDED HARDWOOD.
- PLANT INSTALLATION, MAINTENANCE AND PRUNING TO BE DONE PER PLANS: ALL PLANTS ARE TO BE WARRANTED (FOR REPLACEMENT) FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE OF THE LANDSCAPE INSTALLATION. PROMPTLY REPLACE ANY PLANTINGS DEEMED UNACCEPTABLE BY THE OWNER'S REPRESENTATIVE. REPLACE ANY CRACKED OR DAMAGED TREE STAKES AND SECURE GUY WIRES AS NEEDED.
- PLANTS: ALL PLANTS SHALL BE NURSERY GROWN, GRADE 1 PLANTS MEETING NURSERYMAN ASSOCIATION STANDARDS, TYPICAL IN SHAPE AND SIZE FOR SPECIES. PROVIDE MATCHING FORMS AND SIZES FOR PLANT MATERIALS WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS. PLANTS SHALL NOT BE ROOT-BOUND NOR LOOSE IN THEIR CONTAINERS. HANDLE ALL PLANTS WITH CARE IN TRANSPORTING, PLANTING AND MAINTENANCE UNTIL INSPECTION AND FINAL ACCEPTANCE. PLANTS SHALL BE INSTALLED TO PRESENT THEIR BEST SIDE FACING THE VIEWER. USE TOTAL QUANTITIES OF PLANTS INDICATED; ADJUST SPACING AS NEEDED TO EVENLY FILL BEDS. OWNER'S REPRESENTATIVE SHALL HAVE FINAL APPROVAL OF PLANT MATERIAL LAYOUT. PRUNE NEWLY PLANTED TREES ONLY AS DIRECTED BY LANDSCAPE ARCHITECT. CUT AND REMOVE BURLAP FROM TOP 1/3 OF BALL (IF B&B MATERIAL IS SPECIFIED OR APPROVED). CALIPER OF MULTI-TRUNK TREES DENOTES MINIMUM CALIPER OF MAJOR TRUNKS. OTHER TRUNKS MUST BE 1/2 SIZE OF MAJOR TRUNK OR LARGER.
- REGULAR CLEAN UP AT THE JOB SITE AND ACCESS ROUTES SHALL TAKE PLACE ON A DAILY BASIS UNLESS OTHERWISE APPROVED OR REQUIRED BY THE OWNER'S REPRESENTATIVE. DEMOLITION AND INSTALLATION SCHEDULING IS TO BE COORDINATED WITH OWNER'S REPRESENTATIVE. DAILY AND ANY BARRIERS/PROTECTIVE DEVICES ARE TO BE INSTALLED AS NEEDED TO PROTECT THE SAFETY OF THE PUBLIC. SPECIAL CARE SHALL BE TAKEN TO KEEP ALL VEHICULAR ROUTES OPEN AND PEDESTRIAN ACCESS UNOBSTRUCTED FOR SAFE PASSAGE DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR TO PROVIDE MAINTENANCE FOR DURATION OF WARRANTY PERIOD.
- CONTRACTOR TO PROVIDE IN WRITING TO OWNER A ONE-YEAR REPLACEMENT WARRANTY FOR ALL PLANT MATERIALS. WARRANTY SHALL COVER PLANTS WHICH HAVE DIED OR PARTIALLY DIED (THEREBY RUINING THEIR NATURAL SHAPE), BUT SHALL NOT INCLUDE DAMAGE BY VANDALISM, BROWSING, HAIL, ABNORMAL FREEZES, DROUGHT OR NEGLIGENCE BY THE OWNER. THE WARRANTY IS INTENDED TO COVER CONTRACTOR NEGLIGENCE, INFESTATIONS, DISEASE AND DAMAGE OR SHOCK TO PLANTS. PLANTS REPLACED UNDER WARRANTY WILL BE WARRANTED FOR ONE YEAR FOLLOWING REPLACEMENT.



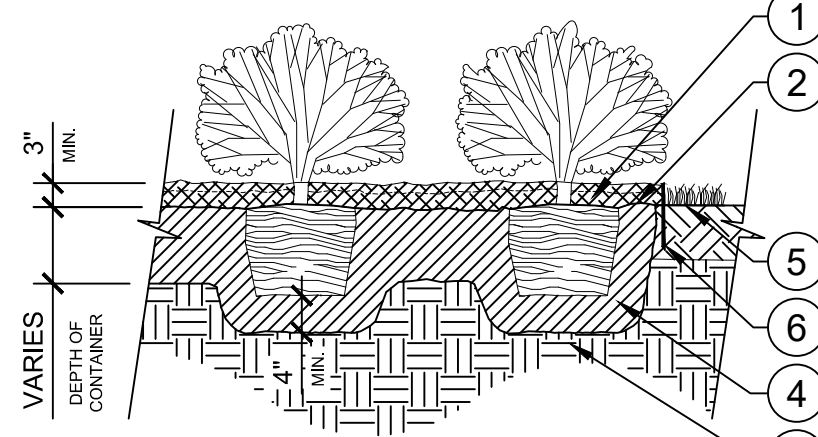
**1 TREE PLANTING**  
3/8" = 1'-0"



TYPICAL LAYOUT PLAN  
(IF SYMBOLS NOT SHOWN ON PLAN)

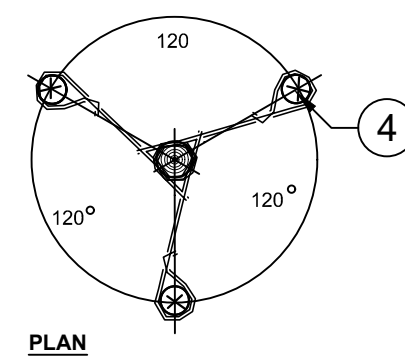


SINGLE PLANTING



BED PLANTING

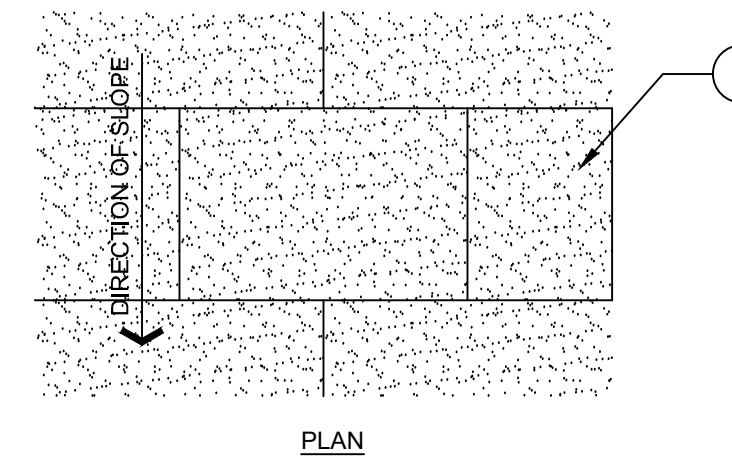
**3 SHRUB PLANTING (SINGLE & BED PLANTING)**  
1/2" = 1'-0"



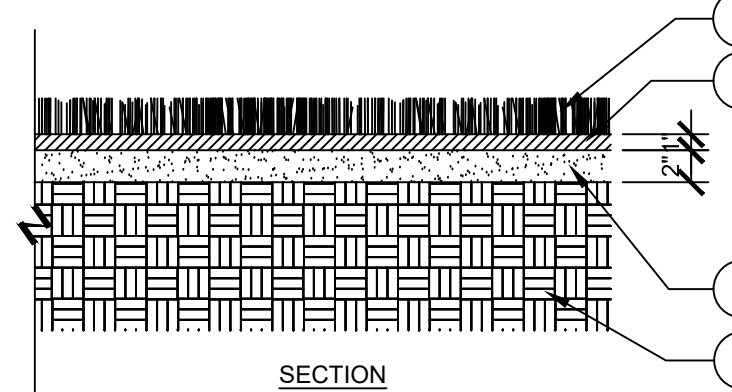
PLAN

- KEY:**
- EXISTING SUBGRADE
  - APPROVED PLANTING MIX BY LANDSCAPE ARCHITECT  
SET TOP OF ROOT BALL 3" ABOVE
  - FINISH GRADE: BUILD 4" HT. SAUCER AROUND PLANTING PIT WITH TOPSOIL. MULCH - 3" MIN. DEPTH. USE ROCK AGGREGATE IN PLANTING BEDS.
  - 2" DIA. X 8'-4" LONG, LODGEPOLE PINE OR DOUGLAS FIR POLES TREATED, INSTALLED PLUMB WITH HEMP TIES, 3 PER TREE. PLACE TWO ON PREVAILING WIND SIDE OF TREE.
  - NEVER CUT LEADER. TRIM UP TO 1/3 OF BRANCHES, RETAINING THE NATURAL SHAPE OF THE TREE.

**NOTE:**  
FOR BALL & BURLAP REMOVE WIRE/TWINE FROM AROUND BURLAP. FOLD TOP THIRD DOWN OR CUT/REMOVE PRIOR TO BACKFILL.



PLAN



SECTION

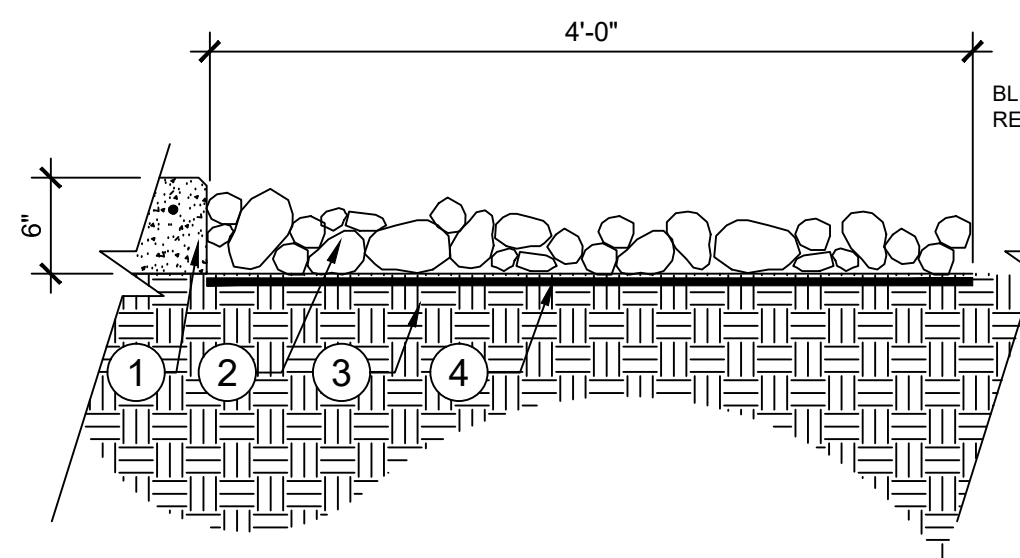
- KEY:**
- SUBGRADE. SEE GRADING PLAN FOR CUT AND/OR FILL REQUIREMENTS
  - PREPARED TOPSOIL. SEE PLANTING NOTES FOR DETAILS
  - SOD BED
  - TURF
  - SOD PANEL; STAGER PANES. SET PERPENDICULAR TO DIRECTION OF SLOPE. PANEL DIMENSIONS DETERMINED BY LANDSCAPE ARCHITECT

**2 TYPICAL SOD PLANTING**  
1" = 1'-0"

- KEY:**
- MULCH AS INDICATED ON PLANTING PLAN. DECOMPOSED GRANITE 2" DEPTH OR SHREDDED HARDWOOD MULCH 3" MIN. DEPTH
  - SHRUB ROOTBALL CROWN TO BE FLUSH WITH FINISH GRADE. PREVENT SETTLING OF SHRUB BY COMPACTING SOIL MIX BELOW BALL.
  - MAINTAIN SAUCER ON ALL SIDES OF THE PLANT TO RETAIN WATER AND MULCH
  - LIVING EARTH PLANTING MIX OR APPROVED EQUAL BY LANDSCAPE ARCHITECT. WATER AND TAMP TO REMOVE AIR POCKETS 6" MIN. ALL SIDES
  - FINISH GRADE WITH TOPSOIL
  - 3/16" SURE LOC STEEL EDGING, 1" ABOVE GRADE. REFER TO PLAN FOR LOCATIONS. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
  - SHRUB LAYOUT, REFER TO PLANTING PLAN
  - UNCOMPACTED NATIVE SOIL/UNDISTURBED SUBGRADE

**KEY:**

- PLANTER CURB, REFER TO SITE DETAILS
- 1"-2" TAN RIVER ROCK
- COMPACTED SUBGRADE TO 95% MAX. DENSITY.
- FILTER FABRIC



TYPICAL CROSS SECTION

**NOTE:**  
CONTRACTOR TO SUBMIT SHOP DRAWINGS OF ROCK BEDS FOR ACCEPTANCE BY LANDSCAPE ARCHITECT.

**4 DECORATIVE ROCK BED**  
1" = 1'-0"

**PLANT SCHEDULE**

SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	HT	SPD
<b>SHRUBS</b>					
	2	Lagerstroemia indica / Crape Myrtle	10 GAL. or 15 GAL.	3'	18"-24"
	17	Rhampholepis indica / Indian Hawthorn	3 gal.	2'	12"-18"
SYMBOL	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
<b>GROUND COVERS</b>					
	12,921 sf	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermudagrass Sod			

**NOTE:**  
1. SOLID SOD ALL AREAS DISTURBED BY CONSTRUCTION WITH TIFWAY 419 BERMUDA GRASS

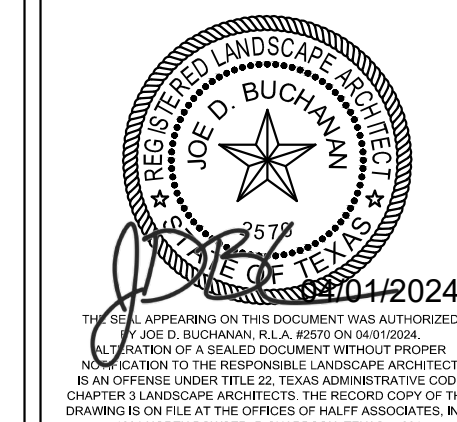
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WESTLAKE  
SKATE PARK  
MESQUITE, TEXAS

MESQUITE  
T E X A S

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1201 NORTH BOWSER RD.  
MESQUITE, TEXAS 75061-1275  
TEL: (214) 346-6200

REVISION NO.	DATE	DESCRIPTION
2	2024/03/29	ADDENDUM 2



PROJECT NO.: 53890.001  
ISSUED: MARCH, 12 2024  
DRAWN BY: MLS  
CHECKED BY: JDB  
SCALE: AS NOTED  
SHEET TITLE

LANDSCAPE  
DETAILS

L5.01